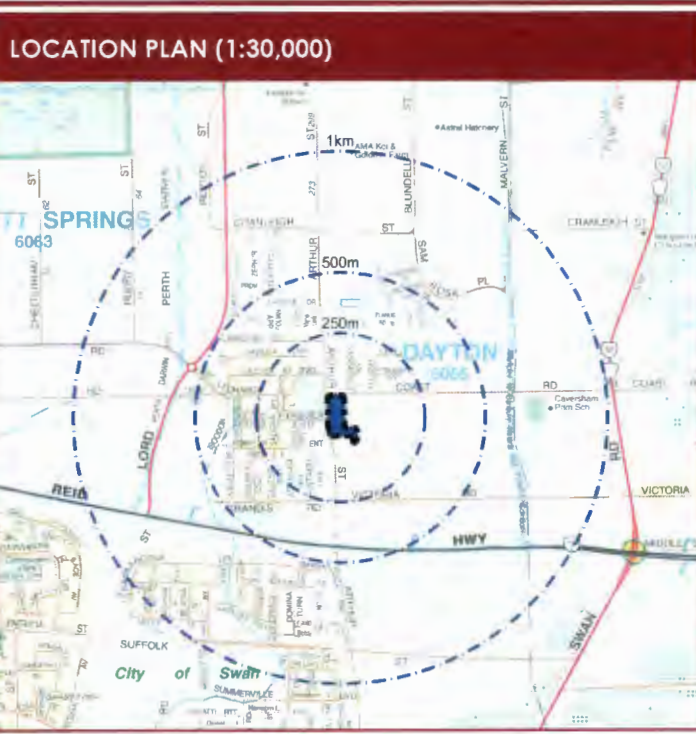


All areas and dimensions are subject to survey, engineering and detailed design and may change without notice. © Copyright of Burgess Design Group



LEGEND

- Local Development Plan area
- Residential R30*
- Residential R60
- No vehicular access permitted
- Designated garage location

**Note: lots developable in accordance with R40 development standards pursuant to Dayton Local Structure Plan 2A*

ENDORSED

Statutory Planning
City of Swan

Date: **7 SEP 2017**

LDP No.: **LDP/16/2017**

- ### PROVISIONS
- The provisions of the City of Swan Local Planning Scheme No.17 and State Planning Policy 3.1 Residential Design Codes (R-Codes) are varied within this LDP.
 - All other requirements of the Local Planning Scheme, R-Codes, and/or R-MD Codes (as applicable) shall be satisfied.
 - Development that complies with this LDP does not require consultation with surrounding landowners and negates the requirement for planning approval on lots with an area of less than 260m².
 - Minor variations to the requirements of the R-Codes and the LDP may be approved by the City of Swan.
 - No vehicular access is permitted across property boundaries in locations shown on this LDP.
 - Garages shall be located where shown on this LDP.
 - Dwellings adjacent to a Pedestrian Access Way (P.A.W.) shall provide at least one major opening, as defined in the R-Codes, facing the PAW.
 - On all lots accessed via a laneway, a bin pad measuring 1.5m wide by 1m deep shall be provided directly abutting the laneway with unobstructed access thereto.
 - Bin pads for Lots 2020 & 2756 shall be located where shown on this LDP.

CITY OF SWAN
22 AUG 2017
RECEIVED



LOCAL DEVELOPMENT PLAN
STAGE R, ST LEONARDS ESTATE
DAYTON