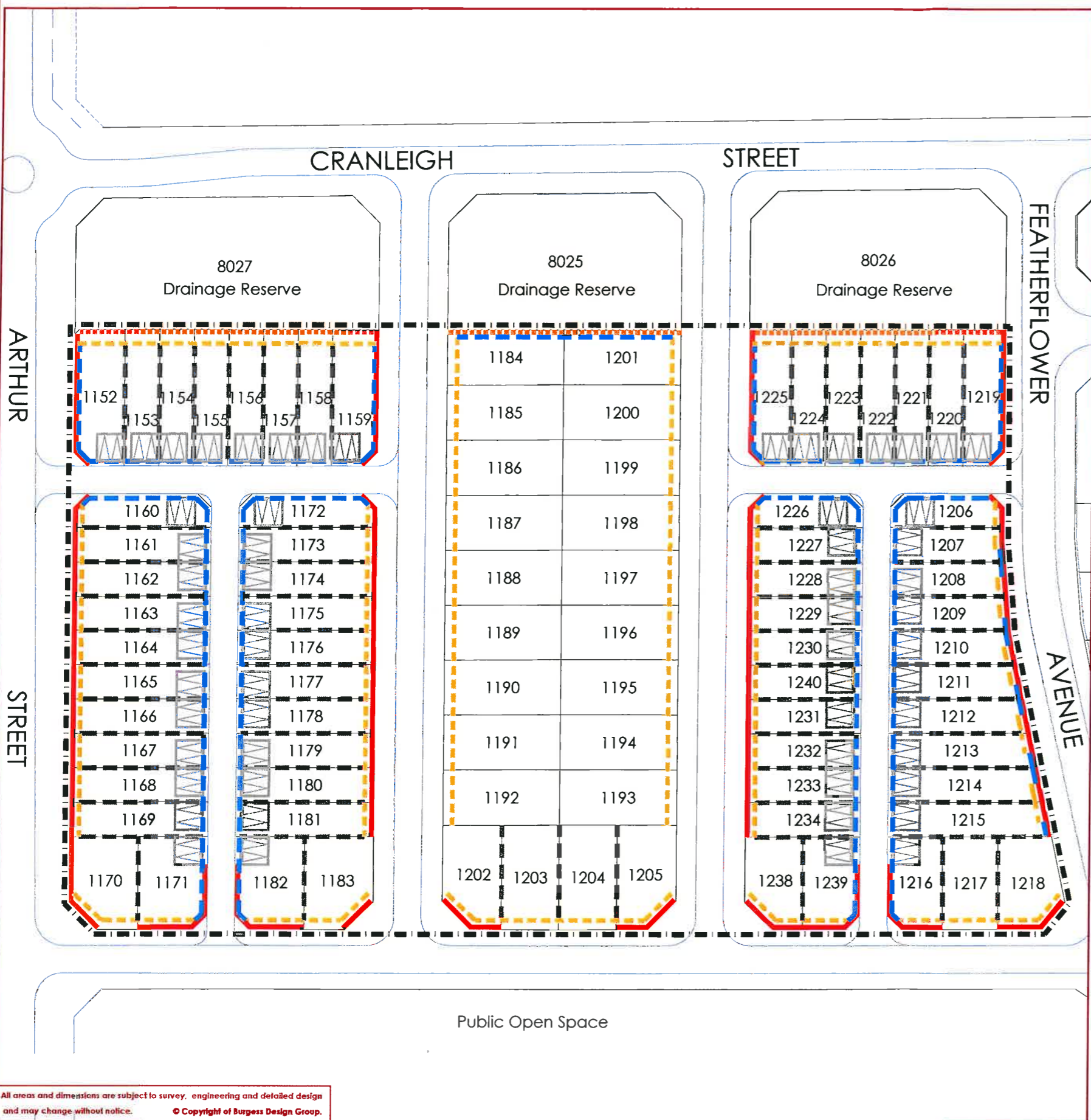




DETAILED AREA PLAN R-CODE VARIATIONS



GENERAL

- The provisions of the City of Swan Local Planning Scheme No 17 (LPS17) and the R60 Residential Design Codes apply unless varied by this Detailed Area Plan (DAP).
- Where there is conflict between the requirements of LSP17 and/or the R Codes with this DAP, the provisions of this DAP prevail to the extent of any inconsistency.
- Variations to the R-Code provisions, in accordance with this DAP, do not require consultation with adjoining/other landowners.
- Minor variations to the requirements of the R-Codes and the DAP may be approved by the City of Swan.

- All dwellings on Lots 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1184, 1201, 1219, 1220, 1221, 1222, 1223, 1224, and 1225, shall be designed to address (front) the Cranleigh Street road reserve and drainage area to provide surveillance of the public realm.
- All dwellings on lots 1170, 1171, 1182, 1183, 1202, 1203, 1204, 1205, 1238, 1239, 1216, 1217, and 1218 must be designed with habitable room windows facing the Public Open Space.

OPEN SPACE AND OUTDOOR LIVING

- The minimum Open Space requirement (%of site) for development on all lots within this DAP is 25%.

VEHICULAR ACCESS

- No vehicular access is permitted across property boundaries in locations depicted on the DAP.

UNIFORM FENCING

- Uniform fencing installed by the developer cannot be modified with the exception of maintenance and repair using materials that are as close as possible to those used in the original construction.

BIN STORAGE

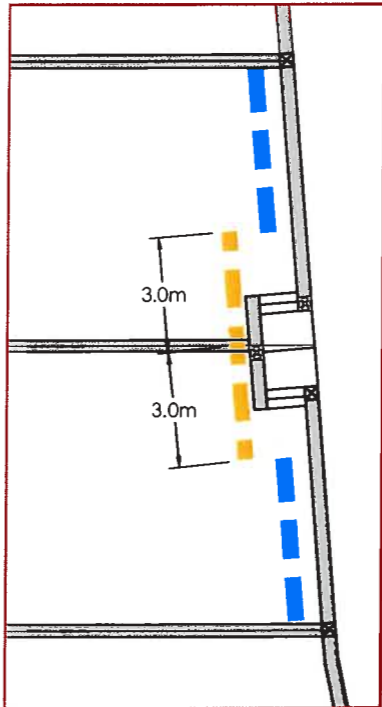
- Laneway lots are required to have a bin collection area, of a minimum dimension of 1.5m wide x 1m deep, abutting the rear laneway. Bins must not be stored in this collection area outside of bin collection days, unless the bin/s are screened from public view.

DWELLING ORIENTATION

- All dwellings on Lots 1152, 1159, 1170, 1183, 1202, 1205, 1218, 1219, 1225, and 1238 must be designed with habitable room windows facing their respective secondary streets.

GARAGES

- All garages not accessed by a laneway must be setback a minimum of 4.5m from primary and secondary streets.



LEGEND	LEGEND
DETAILED AREA PLAN AREA	Steps & Retaining Wall
Minimum 1.0m Setback	
Minimum 2.0m Setback	
Parapet Wall Permitted	
Uniform Fencing	
No Vehicular Access	
Preferred Garage Location	

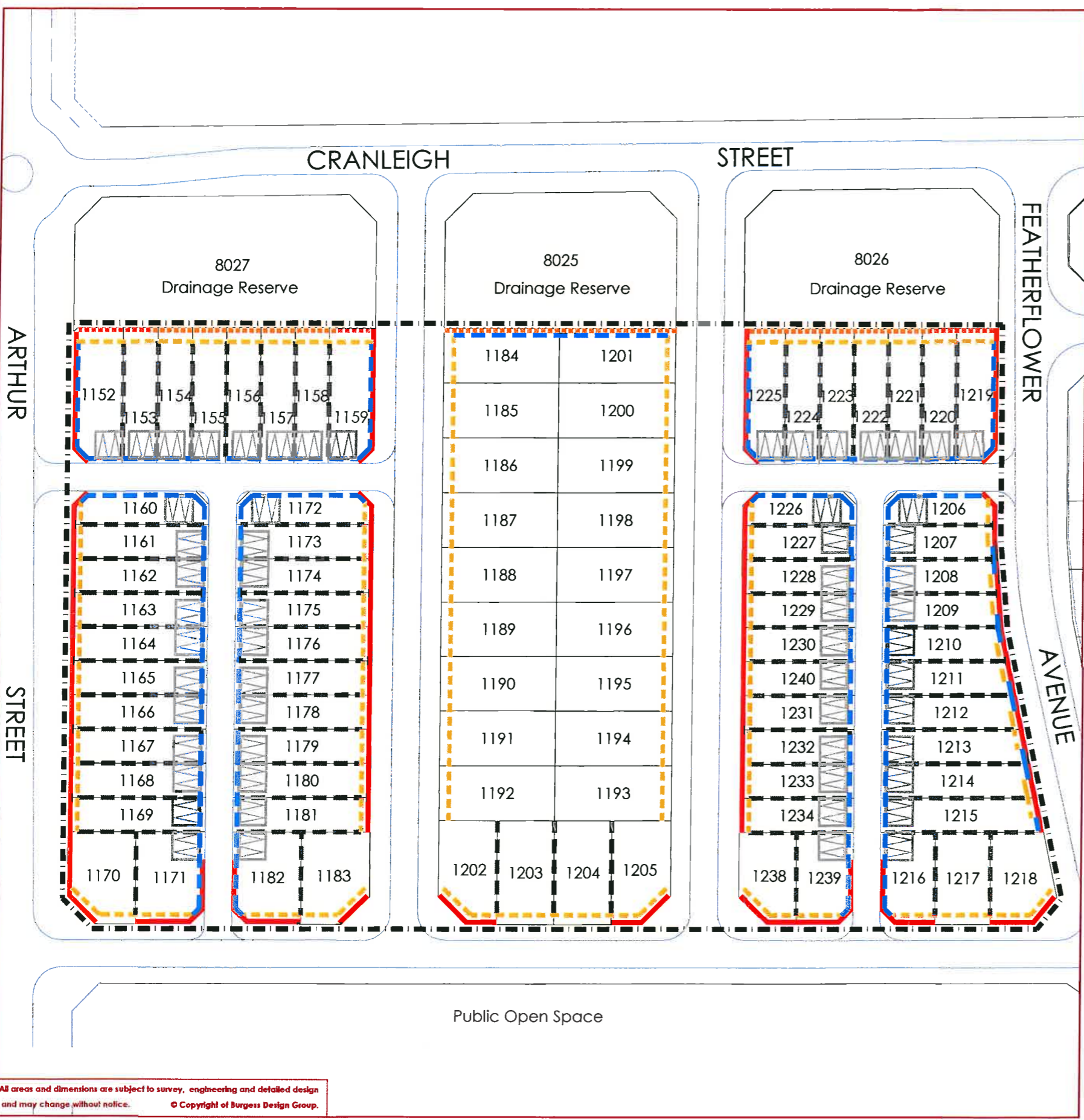
Endorsed by:

[Signature] 18 SEP 2013
 Coordinator
 Manager Statutory Planning
 City of Swan
 Date
 City of Swan Reference No: ..DAP 217

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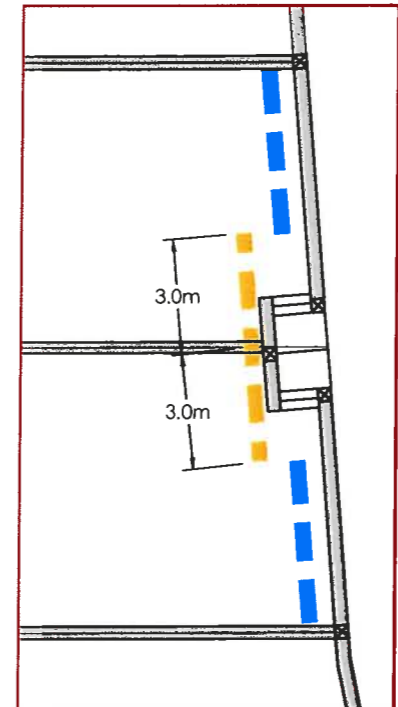
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