

All areas and dimensions are subject to survey, engineering and detailed design and may change without notice. © Copyright of Burgess Design Group.

DETAILED AREA PLAN R-CODE VARIATIONS

GENERAL

1. The provisions of the City of Swan Local Planning Scheme No 17 (LPS17), R20 and R30 Residential Design Codes apply unless varied by this Detailed Area Plan (DAP).
2. Where there is conflict between the requirements of LSP17 and/or the R Codes with this DAP, the provisions of this DAP prevail to the extent of any inconsistency.
3. Variations to the R-Code provisions, in accordance with this DAP, do not require consultation with adjoining/other landowners.
4. Minor variations to the requirements of the R-Codes and the DAP may be approved by the City of Swan.

OPEN SPACE AND OUTDOOR LIVING

5. The minimum 'Open Space' requirement (minimum % of site area) for development on R20 lots is 35%.
6. The minimum 'open space' requirement (minimum % of site area) for development on R30 lots is 25%.
7. The minimum 'Outdoor Living' area for development on all lots is 16m².

GARAGES

8. Garages are permitted to comprise over 50% of the frontage of Lots 1036 - 1039 and 1235 - 1237 to a maximum width of 6 metres.

VEHICULAR ACCESS

9. No vehicular access is permitted across property boundaries in locations depicted on this DAP.

LEGEND

Development Areas:

- DETAILED AREA PLAN AREA
- Residential R20
- Residential R30
- Minimum 1.0m Setback
- Minimum 2.0m Setback
- Parapet Wall Permitted
- Indicative Future Duplex Subdivision Boundary with Parapet Wall allowance
- Uniform Fencing
- No Vehicular Access
- Garage Location

UNIFORM FENCING

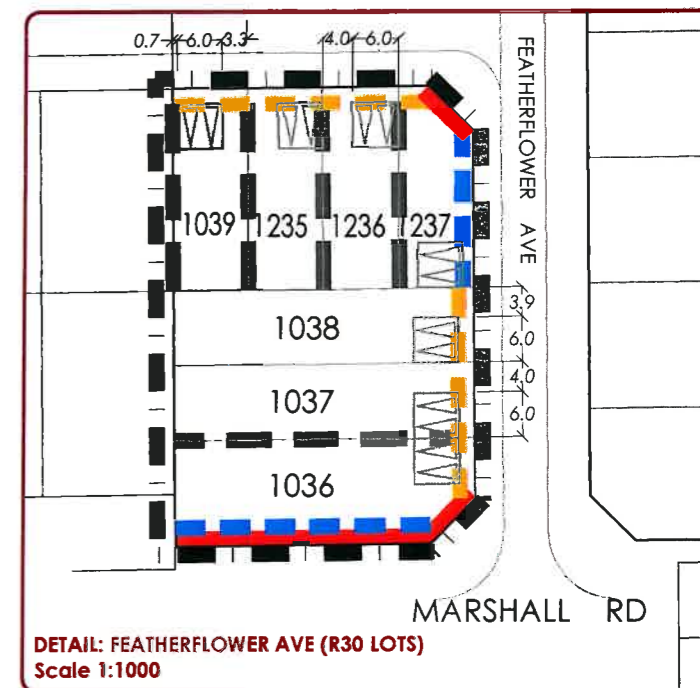
10. Uniform fencing installed by the developer cannot be modified with the exception of maintenance and repair using materials that are as close as possible to those used in the original construction.

SETBACKS

11. A 2.0m front setback is permitted to the Primary Street as shown.

DUPLEX DEVELOPMENT

12. Corner duplex lots, if developed at R30 and/or subdivided in accordance with the indicative lot boundary, will be subject to the provisions of this DAP.



DETAIL: FEATHERFLOWER AVE (R30 LOTS)
Scale 1:1000

Endorsed by:

15/11/2013

Manager Statutory Planning
City of Swan

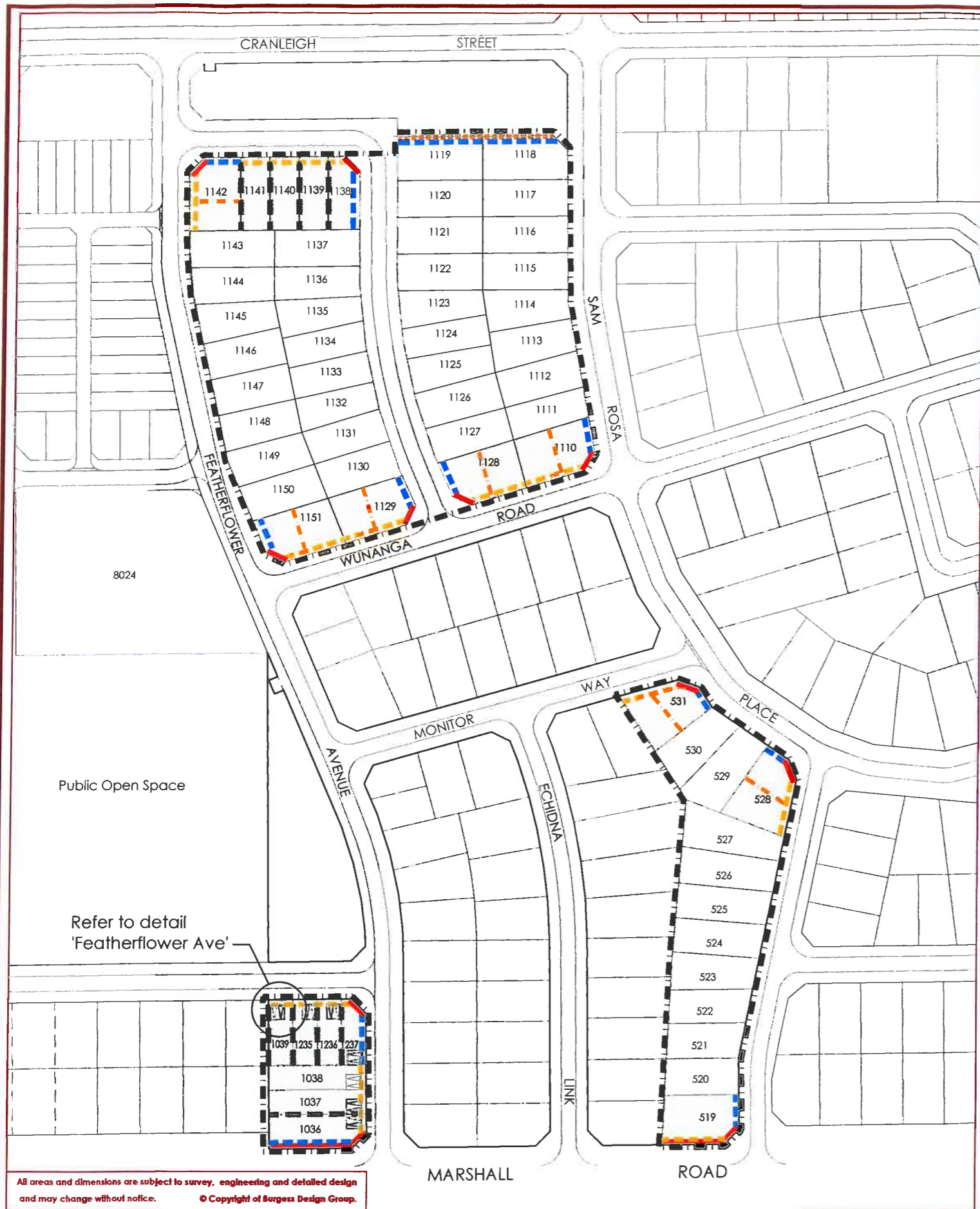
Date

City of Swan Reference No: ..DAP 216



NORTH





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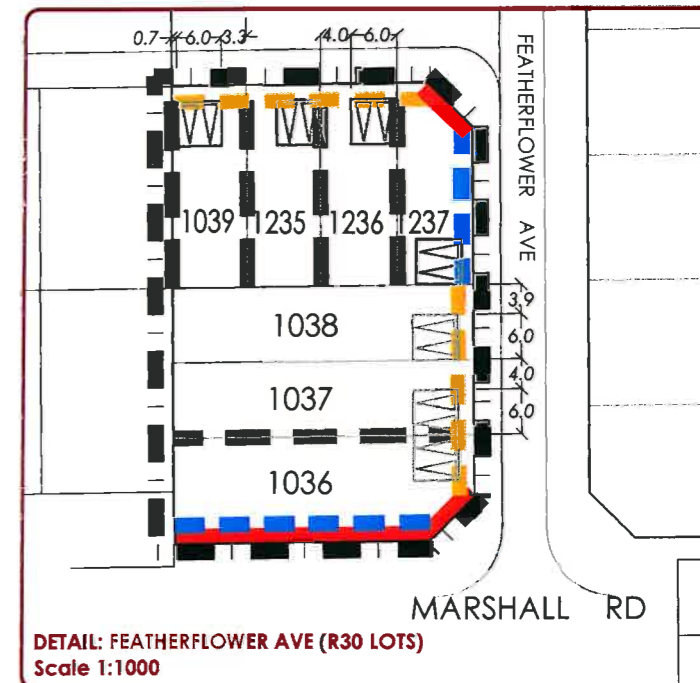
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Endorsed by:

[Signature]
 Manager Statutory Planning
 City of Swan

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 Date

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NORTH

